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**CITY OF KELOWNA**  
**MEMORANDUM**

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**DATE:** May 20, 2008  
**FILE NO.:** DP08-0043

**TO:** City Manager

**FROM:** Planning & Development Services Department

DEVELOPMENT PERMIT APPLICATION OWNER: AL STOBER  
NO. DP08-0043 CONSTRUCTION

AT: 2728 PANDOSY STREET APPLICANT: MEIKLEJOHN  
ARCHITECTS INC.

PURPOSE: TO OBTAIN A DEVELOPMENT PERMIT TO AUTHORIZE  
EXTERIOR RENOVATIONS IN ORDER TO CONVERT PART OF  
THE EXISTING COMMERCIAL BUILDING TO A MEDICAL USE

EXISTING ZONE: C4 – URBAN CENTRE COMMERCIAL

REPORT PREPARED BY: PAUL McVEY

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**1.0 RECOMMENDATION**

THAT Council authorize the issuance of Development Permit No. DP08-00423 for Lot A, DL 14, O.D.Y.D., Plan 27700, Exc. Plan KAP60318, located on Pandosy Street, Kelowna, B.C. subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in general accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in general accordance with Schedule "B";
3. Landscaping to be provided on the land be in general accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a professional landscaper;
5. The applicant to register a Road Reservation Agreement in the Land Title Office;

AND FURTHER THAT the applicant be required to complete the above-noted conditions within 180 days of Council approval of the development permit application in order for the permit to be issued.



## 2.0 SUMMARY

The applicant is seeking permission to renovate the southern portion of the existing commercial building located on the subject property in order to convert the building to a medical use. The northern portion of the existing building is to be removed from the site. The applicant is also proposing façade changes to the façade fronting Pandosy Street.

### 2.1 Advisory Planning Commission

The above noted application (DP08-0043) was reviewed by the Advisory Planning Commission at the meeting of March 25, 2008 and the following recommendation was passed:

THAT the Advisory Planning Commission support Development Permit Application No. DP08-0043, for 2728 Pandosy Street, Lot A, Plan 27700, Sec. 13, Twp. 25, O.D.Y.D. by Meiklejohn Architects Inc. (Al Stober Construction), to obtain a Development Permit to authorize exterior renovations in order to convert part of the existing commercial building to a medical use.

## 3.0 BACKGROUND

### 3.1 The Proposal

The applicant has applications in stream which propose the addition of the existing daycare lot located to the west of the subject property and the redevelopment of the resulting lot with a multi-storey office and retail building, along with a three level parking structure. That application process has been delayed in that there have been challenges relating to the identified potential road widening along the Pandosy Street frontage, as well as the proposed building height which exceeds the four storey building height limit of the C4 zone in this location and the building height limit identified in the South Pandosy / KLO Sector Plan.

This new Development Permit application proposes to use a portion of the existing "Liquidation World" building as a new medical office. It is anticipated that this renovation will be Phase I of the process to achieve the ultimate development of the site. The overall site development will be revisited in order to incorporate the renovated existing building into the proposed overall site development.

The applicant proposes to reduce the size of the existing "Liquidation World" building by removing approximately 800m<sup>2</sup> of the northern portion of the existing building. The remaining portion of the building will be refinished with a renovated façade facing Pandosy Street and a new concrete block wall facing the existing parking lot to enclose the north face of the building.

The site plan provided with this Development Permit application indicates that the existing parking lot and the floor slab of the demolished portion of the building will remain in place for this Phase I of the proposed site development. The remaining floor slab from the demolished building is designed to be surrounded with a 600mm high block wall. This proposed wall is to be located approximately 2m away from the new block wall on the north side of the building to create a walkway. The interior portion of the slab area is to be sodded over to provide a green space to the site. The portion of the slab adjacent to Pandosy Street is to be landscaped with additional ground cover, and a row of five deciduous trees. This will provide some usable outdoor green space for the occupants of the medical facility. It is anticipated that this portion of the site will be

redeveloped in the future when the proposed office building and parking structure proceeds.

The west portion of the site is proposed to be redeveloped with a new parking lot for 15 vehicles, and will be accessed from the lane, as well as through the existing parking lot. This area of the site will also be enhanced by the provision of additional landscaping along the west property line south of the lane, and the provision of a landscaped area adjacent to the building to create a courtyard.

The exterior of the proposed development is designed to be finished with same style of concrete block as the remainder of the existing building. That portion of the building facing Pandosy Street is designed to have a new translucent glazing installed above the existing block wall. There is a proposed building feature with a canopy element added to the north east corner of the building to provide a visual clue to the location of the sidewalk & pedestrian link to connect the main building access doorway located at the north west corner of the building, which also connects to the adjacent parking lot.

The concrete block exterior of the building is designed to be painted "dark grey", with accent areas to be painted "bright green" and vertical "column" elements painted on the block to line up with the column elements of the "kalwall" glazing above. The trim element which separates the block area from the glazed area is to be painted a "light grey", while the parapet area above the windows is to be painted "white". There are scored lines in the stucco finish of the parapet which are located to line up with the "white" painted vertical strips proposed to be added to the concrete block wall and the vertical spandrel panel areas of the new glazing area to break up the horizontal expanse of the wall facing Pandosy Street.

The proposal as compared to the C4 zone requirements is as follows:

CRITERIA	PROPOSAL	C4 ZONE REQUIREMENTS
Site Area (m <sup>2</sup> )	5,433m <sup>2</sup>	460 m <sup>2</sup> if abutting a lane
Site Width (m)	58.9 m	13 m if abutting a lane
Site Coverage (%)	72.5%	75%
Total Floor Area (m <sup>2</sup> )	916.67m <sup>2</sup>	Max 7,062.6 m <sup>2</sup> @ FAR = 1.3
F.A.R.	0.168	Max FAR = 1.3 for mixed use
Storeys (#)	1 storeys (6.0m)	4 storeys (15 m)
Setbacks (m)		
- Front (Osprey Ave.)	38.0 m	0.0 m
- Rear	0.6 m	0.0 m
- West Side	13.0 m	2.0 m adj to RU6 zone
- East Side (Pandosy St.)	0.0 m	0.0 m (flanking street)
Parking Stalls (#)	17 stalls provided 46 additional existing stalls to remain	131 stalls required
Loading Stalls (#)	1 stall provided	1 loading stalls required

NOTES;

Parking stalls

C4 commercial uses

$$- 1.75 \text{ per } 100 \text{ m}^2 \times 9.16 = 17 \text{ parking stall req'd}$$

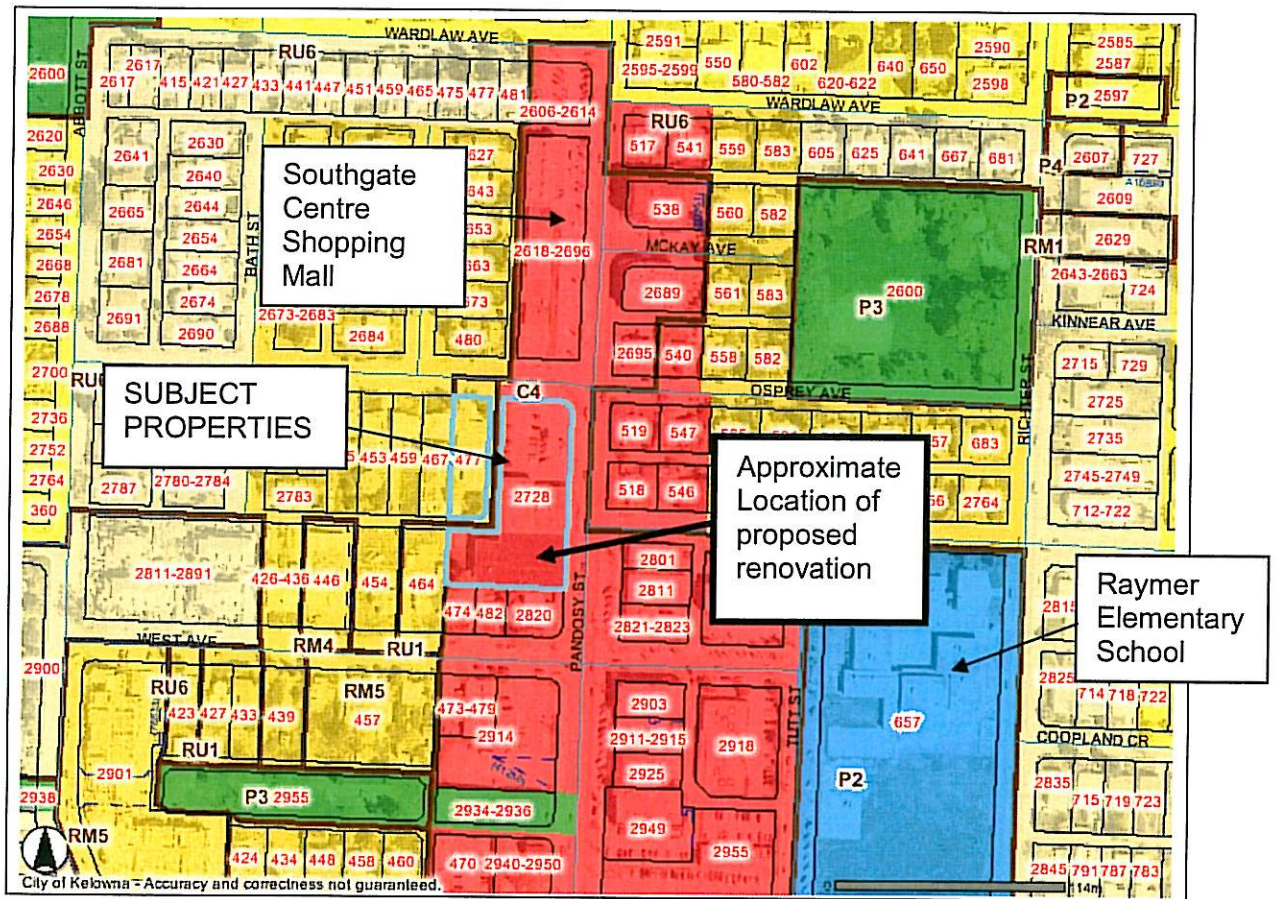


The existing 46 stalls that are currently located to the north of the existing building are to remain. It is anticipated that this area of the property will be developed in the future as Phase II.

### 3.2 Site Context

The larger of the subject properties is currently developed with an older single storey retail building and surface parking that has most recently been used as the "Liquidation World" retail outlet. The smaller of the subject properties is occupied by a single unit dwelling that has been modified to be operated as a child day care centre. The development site is generally flat and level. The Pandosy Street Frontage has been urbanized as part of the South Pandosy Revitalization program of the late 1990's.

### SUBJECT PROPERTY MAP



Adjacent zones and uses are, to the:

- North - C4 – Urban Centre Commercial / Osprey Ave., Retail uses
- RU6 – Two Dwelling Housing / Single Unit housing
- East - RU6 – Two Dwelling Housing / Single Unit housing
- South - C4 – Urban Centre Commercial / retail uses
- West - RU6 – Two Dwelling Housing / Single Unit housing

### 3.3 Current Development Policy

#### 3.3.1 Kelowna Official Community Plan

The location of the existing "Liquidation World" is designated as "Commercial" future land use in the Kelowna Official Community Plan. The proposal is consistent with that designation.

#### 3.3.2 City of Kelowna Strategic Plan (2004)

The City of Kelowna Strategic Plan 2004 describes a vision of what residents hope Kelowna will be like in the future and has identified as one of the themes that overall, residents aspire to live in a community that:

- works to develop and maintain a strong, diversified local economy that offers residents opportunities for high-paying jobs

The City of Kelowna Strategic Plan 2004 also states as Goal 2;

"To foster a strong, stable and expanding economy "

The City of Kelowna Strategic Plan 2004 also states as Objectives for Goal 2;

1. Aid in the growth and progress of Kelowna as a desirable place to do business.
2. Aid in the growth and progress of Kelowna as a desirable place to visit, shop and tour.
3. Increase the diversity of employment opportunities.

### 4.0 TECHNICAL COMMENTS

The application has been circulated to various technical agencies and City departments and the following relevant comments which have been submitted are attached to this report.

### 5.0 PLANNING AND DEVELOPMENT SERVICES DEPARTMENT COMMENTS

This new Development Permit application for a façade improvement to a portion of the existing building is being treated as a "Phase I" step towards the ultimate redevelopment of the entire site. There are existing development applications for a major property redevelopment that will continue to be processed for the remainder of the development site.

This Development Permit application will allow the applicant to renovate a portion of the existing building located on the property to create space for a new medical office, while allowing additional time in order to work through the complicated issues related to the potential widening of Pandosy Street, and deal with the proposed building height for the office building which exceeds the maximum building height envisioned in both the South Pandosy / KLO sector plan, and the City of Kelowna Official Community Plan.

The applicant has worked with the Planning and Development Services Department to review and improve the proposed façade changes facing Pandosy Street. As well, the applicant has been working with the Community Development and Real Estate

department to secure a Road Reservation for the potential Pandosy Street widening while permitting the use of the existing building until the road reserve is exercised.

In conclusion, the Planning and Development Services Department supports this application, and recommends for positive consideration by Council.

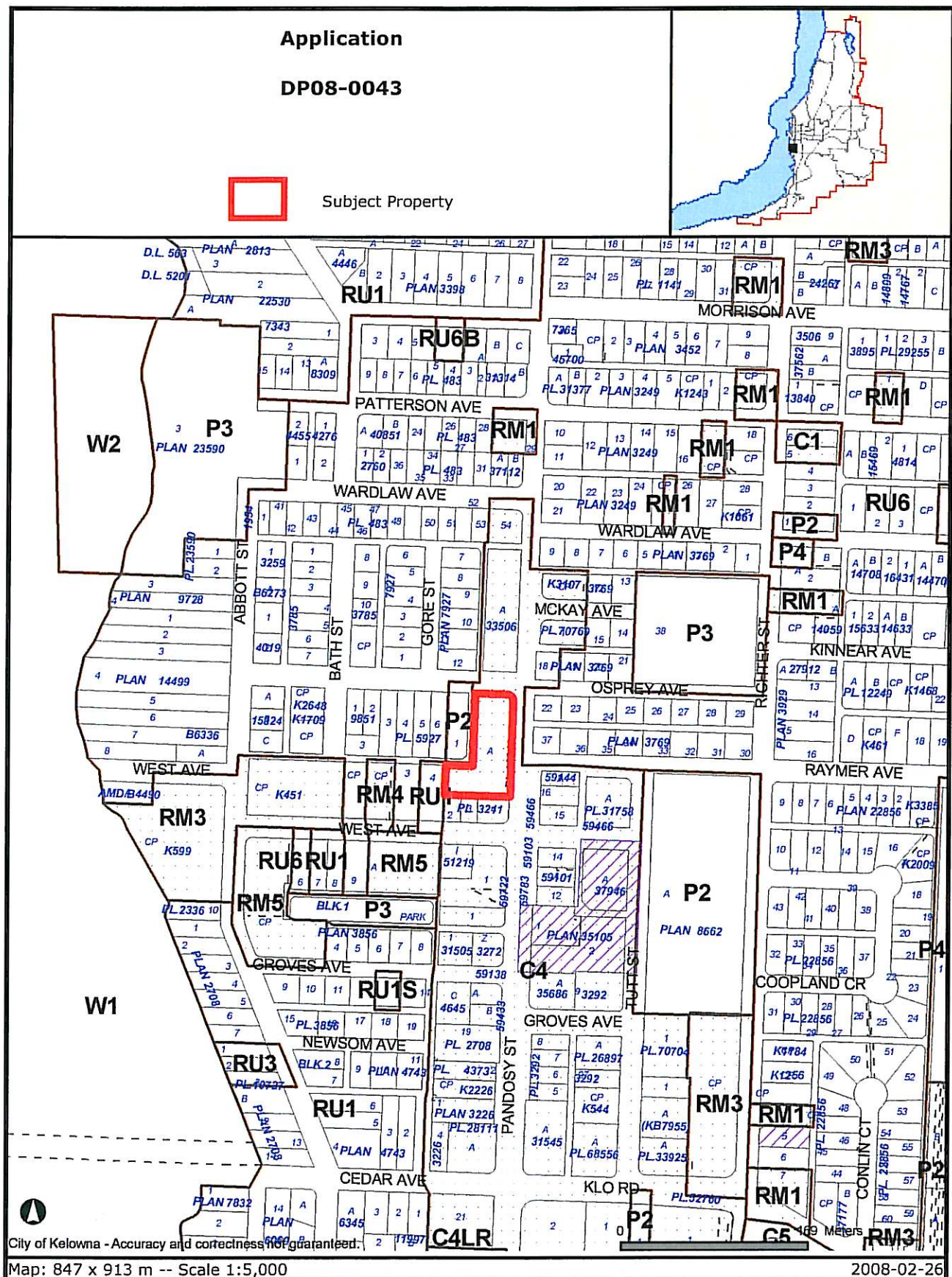
  
\_\_\_\_\_  
Shelley Gambacort  
Current Planning Supervisor

PMc/pmc  
Attach.

Attachments

Subject Property Map  
Schedule A, B & C (8 pages)  
Memo – Works and Utilities Dept. servicing requirements  
Print-Out – Tracking System Detail Report





Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.  
The City of Kelowna does not guarantee its accuracy. All information should be verified.



File: DP08-0043

Application

File: DP08-0043

Type: DEVELOPMENT PERMIT

Customer ID: 1080530

Applicant: Meiklejohn Architects Inc

Address: 233 Bernard Ave

Kelowna BC

V1Y 6N2

Postal Code:

Phone: 762-3004

Fax: 762-8707

Cell:

Email:

Contact: Vince Fernandez

Phone:

Fax:

Cell:

Email: vince-mai@shaw.ca

Received By: LIZ CAMPBELL

Legal:

Development Officer: PAUL MCVEY

Status: Open

Planner: SHELLEY GAMBACORT

Engineering Contact: JOHN FILIPENKO

Owners

Owner Name	Address	Postal Code	Phone	Fax
Al Stober Construction Ltd	410 1632 Dickson Ave Kelowna BC	V1Y7T2	763-2305	

Properties

Kid	Type	Plan	Lot	Block	Unit	Number	Street Name	Dir	St	LTO
147088		27700	A			2728	Pandosy St		A	R

SubdivisionFile LinksTechnical

OCP Designation:

OCP Amend Req'd:

Sector Plan:

Sector Designation:

Neighbourhood Plan:

Neighbourhood Designation:

Heritage Register:

DP Area:

Bylaw:

File: DP08-0043

Existing Use: Empty Commercial Building

Conform:

Proposed Use: To obtain a Development Permit for exterior renovations in order to convert part of the existing building to be used as a medical surgery clinic.

Proposed Lots: Units:  
 Final Lots: Units: General Comment:  
 Remainder Lots: ESA Remainder Comment:  
 Floor Space: m2  
 Lot Size: ha m2  
 Front x Depth: m X m Irregular:

Development AreasZoning

Existing Zone: C4 # Lots: 1

Fees

Invoice	Status	Date	Parameter	Fee	Charge
104936	Paid	2008-02-26	Development Permit		578.00
104936	Paid	2008-02-26	Advisory Planning Commission		525.00 G
104936	Paid	2008-02-26	GST Reg. No. R12193 7551 RT		26.25
					1,129.25
105019	Paid	2008-03-14	2 signs Development Sign (small)		36.00 G
105019	Paid	2008-03-14	GST Reg. No. R12193 7551 RT		1.80
					37.80

File Progress

Step	Date	Comment
Application Accepted	2008-02-26	
Application Circulated	2008-02-26	
E-Application Received	2008-02-28	
E-Report Sent to Planning	2008-04-23	Bonding & Levies Service upgrades \$21000.00
Advisory Planning Commission	2008-04-08	THAT the Advisory Planning Commission supports Development Permit Application No. DP08-0043, for 2728 Pandosy Street, Lot A, Plan 27700, Sec 13, Twp. 25, ODYD, Meiklejohn Arch. Inc. (V. Fernandez), to obtain a Development Permit for exterior renovations in order to convert part of the existing building to be used as a medical surgery clinic. _

All Agency Comments Received

Additional Info Required

Additional Info Received

Report Forwarded to Council

Council Consideration

Extension Application Rec'd

Extension Rpt to Council

Extension Council Consid

Issuance of Permit

E-SA to Planning w/Memo

Landscape Bond Received

Forwarded to L.T.O.

File: DP08-0043

Step		Date	Comment	
L.T.O. Registration				
Renewal Applica. Rec'd				
Renewal Rpt to Council				
Renewal Council Consid				
Landscape Inspection				
Landscape Bond Released				
File Closed				
<b>File Circulation</b>				
Seq	Out	In	By	Comment
B.C. Assessment Authority (info only)				
2008-02-26	2008-02-26			
Community Development & Real Estate Mgr				
2008-02-26	2008-03-26		KGENCE	CD&RE Comments for Inclusion in Council Report: Please contact the Land Agent for road dedications over 20 metres in width, land dedications and land transfers to or from the City of Kelowna, road closures and road reserves. Depending on the type of land transaction being contemplated, the processing time can vary from 3 weeks to 3 months. The Land Department requires a full size copy, together with an 8 1/2 x 11 copy, of any survey plans.
Fire Department				
2008-02-26	2008-04-01		MNEID	Engineered fire flows required to determine if present hydrant location, number of hydrants, and hydrant volume will be adequate. Fire department access, fire flows, and hydrants as per the BC Building Code and City of Kelowna Subdivision Bylaw 7900. Detailed code analysis required clarifying whether the building occupancy is a _ D _ or a _ B _ occupancy. Require conformation the sprinkler system meets the occupancy requirements.
FortisBC				
2008-02-26	2008-04-14			No reponse
Inspections Department				
2008-02-26	2008-03-12		RREADY	Full handicap accessibilty (parking, washrooms etc.) required for alterations to existing building.
Mgr Policy, Research & Strategic Plannin				
2008-02-26				
Park/Leisure Services Dir. (info only)				
2008-02-26	2008-02-26			
Parks Manager				
2008-02-26	2008-03-03		TBARTON	The existing street trees and vegetation on Osprey Ave and Pandosy St shall not be disturbed.
Public Health Inspector				
2008-02-26	2008-03-25			No comment.
RCMP				
2008-02-26	2008-04-14			No response
Shaw Cable				
2008-02-26	2008-03-03			Owner/Developer to supply and install an underground conduit system per Shaw Cable drawings and specifications
Telus				
2008-02-26	2008-03-17			TELUS will provide underground facilities to this development. Developer will be required to supply and install conduit as per TELUS policy
Terasen Utility Services				
2008-02-26	2008-04-14			No response
Works & Utilities				
2008-02-26	2008-04-28			see document attached

Remarks

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## CITY OF KELOWNA

# MEMORANDUM

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**Date:** April 23, 2008  
**File No.:** DP8-0043 2728 Pandosy Street Plan 27700 Lot A  
**To:** Planning & Development Services Department (PMcV)  
**From:** Development Engineering Manager  
**Subject:** 2728 Pandosy Street Plan 27700 Lot A **Pandosy Medical Centre**

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The Works & Utilities Department have the following comments and requirements associated with these applications. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is John Filipenko. ASCT

1. Domestic Water and Fire Protection

- (a) The proposed development site is currently serviced with three water services. The developer's consulting mechanical engineer will determine the domestic and fire protection requirements of this proposed development and establish hydrant requirements and service needs. It is anticipated that the existing 150mm diameter service will be adequate for this development.
- (b) Only one service will be permitted for this development. The applicant, at his cost, will arrange for the disconnection of existing small diameter services at the mains. The estimated cost of this construction for bonding purposes is **\$9,000.00**

2. Sanitary Sewer

- (a) Our records indicate that this proposed development site is connected with four sewer services. The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs.
- (b) The existing 150mm service can be utilised for this development if sufficient in size. The applicant, at his cost, will arrange for the capping of all existing unused services at the mains.  
Only one service will be permitted for this development. The estimated cost of construction for bonding purposes is **\$11,000.00**



3. Road Dedication and Subdivision Requirements

- (a) Provide a road reserve for a highway allowance widening for the full frontage of Pandosy Street. The widening consists of a wedge 7.0m wide at the Osprey Avenue intersection, tapering to 4.0m in width at the southerly property boundary. Include a 6.0m radius corner rounding.
- (b) Provide all necessary Statutory Rights-of-Way for any utility corridors required, including those on proposed or existing City Lands.

4. Electric Power and Telecommunication Services

The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

5. Engineering

Road and utility construction design, construction supervision, and quality control supervision of all off-site and site services including on-site ground recharge drainage collection and disposal systems, must be performed by an approved consulting civil engineer. Designs must be submitted to the City Engineering Department for review and marked "issued for construction" by the City Engineer before construction may begin.

6. Survey Monuments and Iron Pins

If any legal survey monuments or property iron pins are removed or disturbed during construction, the developer will be invoiced a flat sum of \$1,200.00 per incident to cover the cost of replacement and legal registration. Security bonding will not be released until restitution is made.

7. Bonding and Levy Summary

(a) Bonding

Service upgrades	\$ 21,000.00
Total Bonding	\$ 21,000.00

NOTE: The bonding amounts shown above are comprised of estimated construction costs escalated by 140% to include engineering design and contingency protection and are provided for information purposes only. The owner should engage a consulting civil engineer to provide detailed designs and obtain actual tendered construction costs if he wishes to do so. Bonding for required off-site construction must be provided and may be in the form of cash or an irrevocable letter of credit, in an approved format. The owner must also enter into a servicing agreement in a form provided by the City.

8. Development Permit and Site Related Issues

- (a) The developer must obtain the necessary permits and have all existing utility services disconnected prior to removing existing structures.
- (b) Protect existing sidewalks and streetscapes during construction. Replacement of damaged works will be at the developer's expense.

9. Administration Charge

An administration charge will be assessed for processing of this application, review and approval of engineering designs and construction inspection. The administration charge is calculated as (3% of Total Off-Site Construction Cost plus GST) in the amount of **\$472.50** (\$450.00 + 22.50 GST)

ORIGINAL SIGNED

Steve Muenz, P. Eng.  
Development Engineering Manager  
JF/jf

## PANDOSY MEDICAL CENTRE ZONING SUMMARY

FORMED	USED	GA	RETAIL OFFICE, USA IN SERVICE, HOTELS
SITE AREA	489 m <sup>2</sup>	PROVIDED	4 311 m <sup>2</sup>
BLINDING AREA	4 971 m <sup>2</sup>		46 221 m <sup>2</sup>
			8 002 m <sup>2</sup>
		1 MAX	2 N
UN FRONT STRUCK		5 m	5 m
UN END STRUCK		5 m	22 50 m
UN BLIND STRUCK		EXCEPT 4 971 M <sup>2</sup> TO 1 M <sup>2</sup>	
MAX PANEL CONTRAST		15% OF PANEL AREA	21 5%
MAX BLINDING HEIGHT			21 5%
1 PRINCIPAL BLINDING		15 BLIND 4 STOREYS	1 STOREY

### PARKING CALCULATION

INFORMATION DIMENSIONS	HC STALL DIM. (SIZE)	17 STALLS PER 100 SQ. FT. A - 17 STALLS
10' PARALLEL	STALL WIDTH = 6' 11" (2.7m)	17 STALLS
STALL WIDTH = 8' 2" (2.5m)	STALL DEPTH = 14' 7" (4.5m)	
STALL WIDTH = 10' 11" (3.3m)		
STALL DEPTH = 22'-0" (7.0m)		

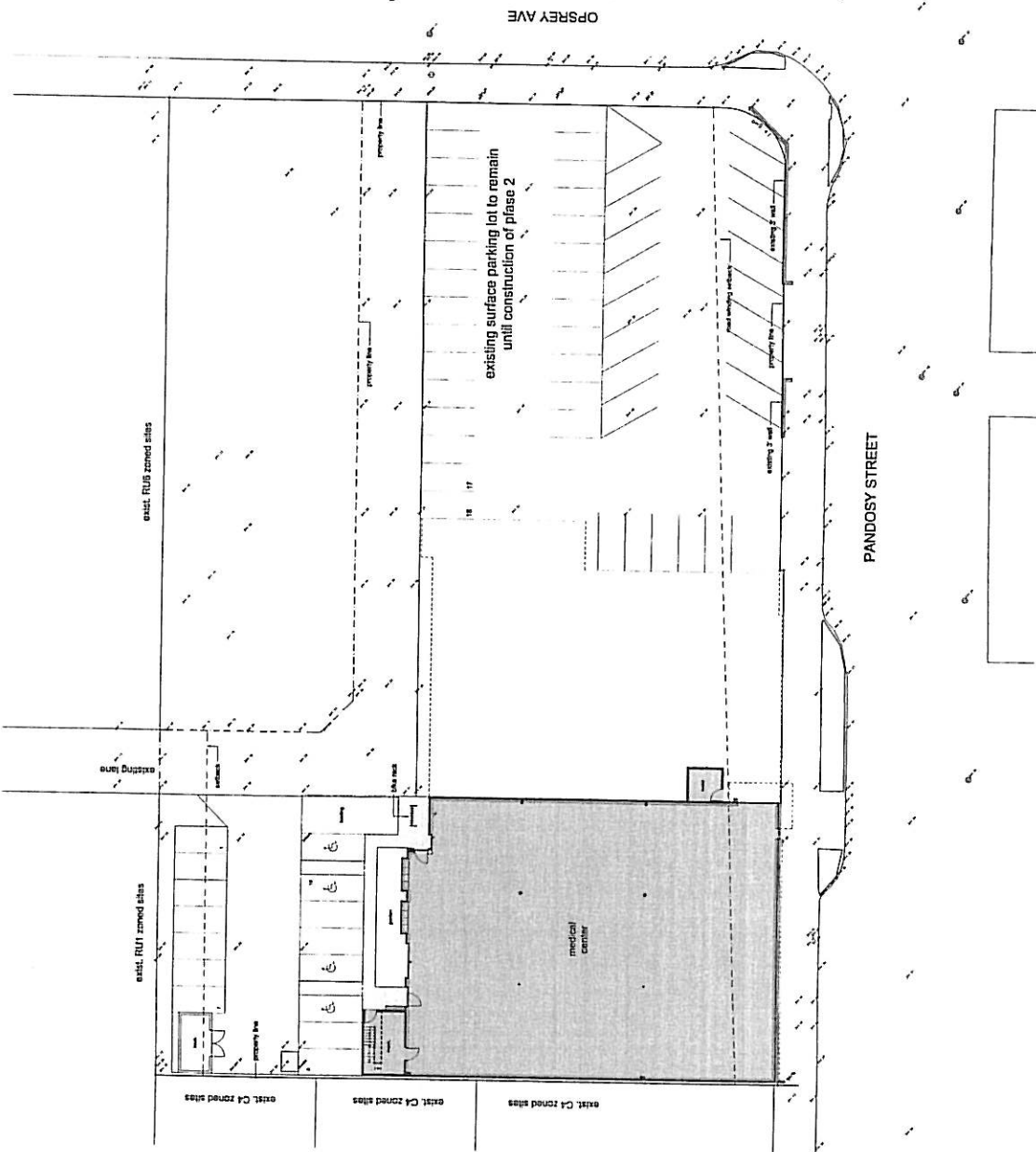
### BICYCLE PARKING CALCULATION

MANHOURS REQUIRED:	CLASS 1: 625 PER 100 PG CLAS. ON 1 PER 10 EMPLOYEES CLASS 2: 625 PER 100 PG CLAS. - 8 STALLS
MANHOURS PROVIDED:	8 STALLS

### LOADING SCHEDULE

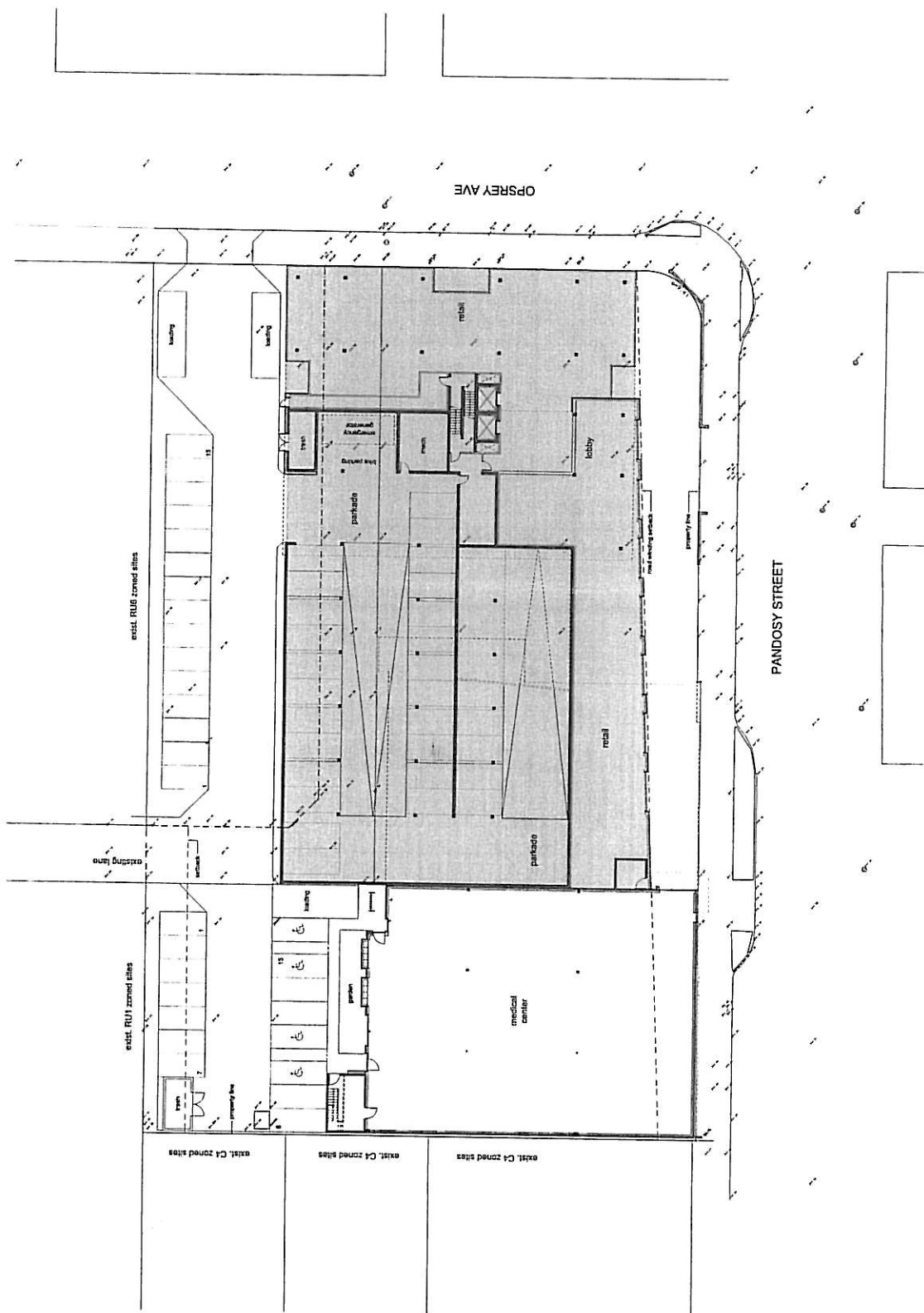
MANHOLE REQUIRED:	1 PER 1,000 SQ. FT. = 1 LOADING SPACE
MANHOLE PROVIDED:	1 LOADING SPACE

SAVING ADDRESS  
 1728 PALADY ST.  
 CITY 187 KILOWA BC  
 LEGAL DESCRIPTION  
 CT A  
 L 14 0000  
 LAW 27702



# SCHEDULE "A"

מס' תעודת זהות





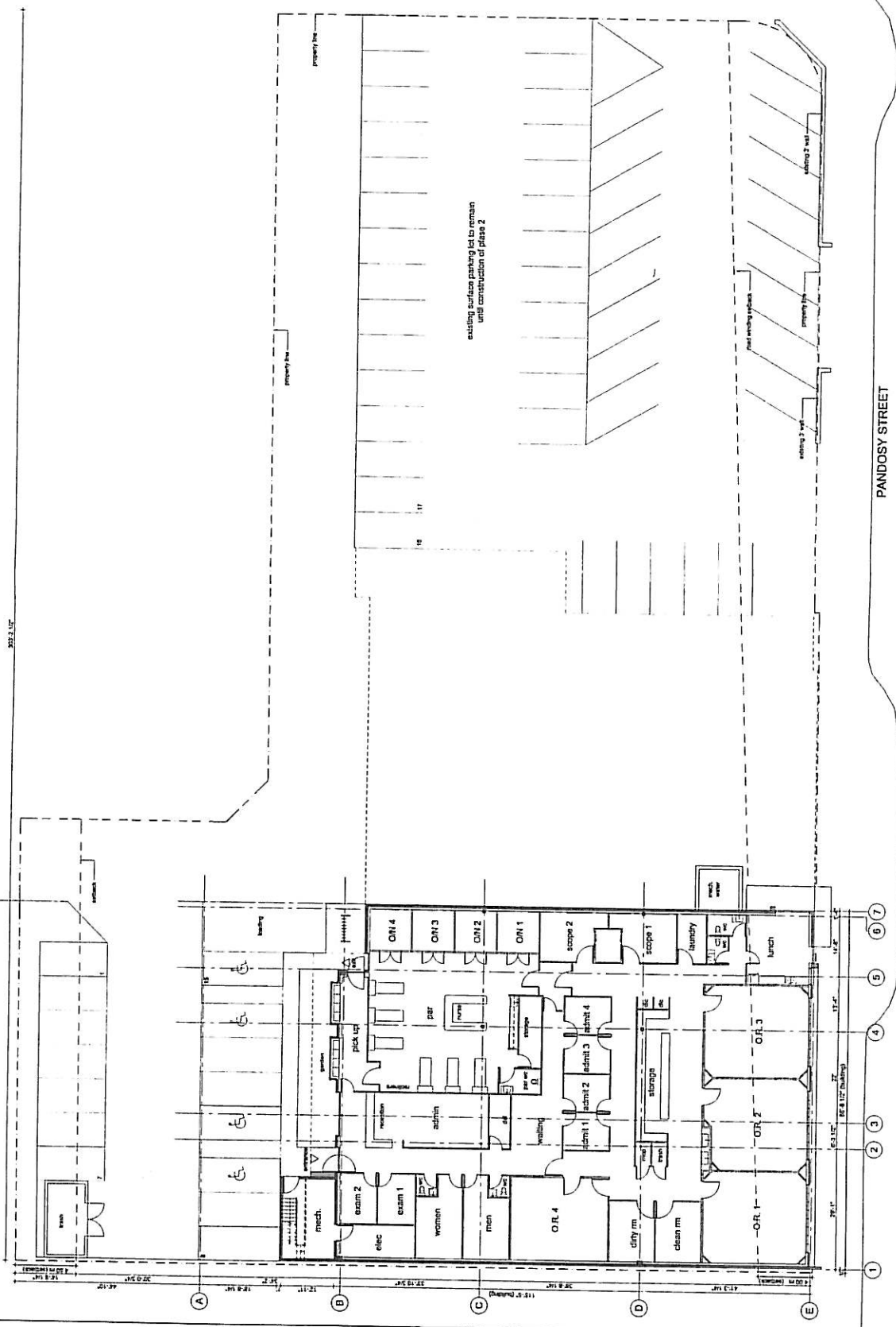
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first floor plan

PANDOSY STREET

OPSREY AVE

existing surface parking lot to remain until construction of phase 2



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 FAX: 202-462-3314  
 EMAIL: info@meiklejohn.com

**m+m**  
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NO.	DATE	DESCRIPTION
01	10/08/02	Initial Drawing
02	10/08/02	Revised Drawing
03	10/08/02	Revised Drawing
04	10/08/02	Revised Drawing
05	10/08/02	Revised Drawing
06	10/08/02	Revised Drawing
07	10/08/02	Revised Drawing
08	10/08/02	Revised Drawing
09	10/08/02	Revised Drawing
10	10/08/02	Revised Drawing

PROJECT NO.  
 PANDOSY MEDICAL CENTRE

DRAWING NO.  
 A3.02

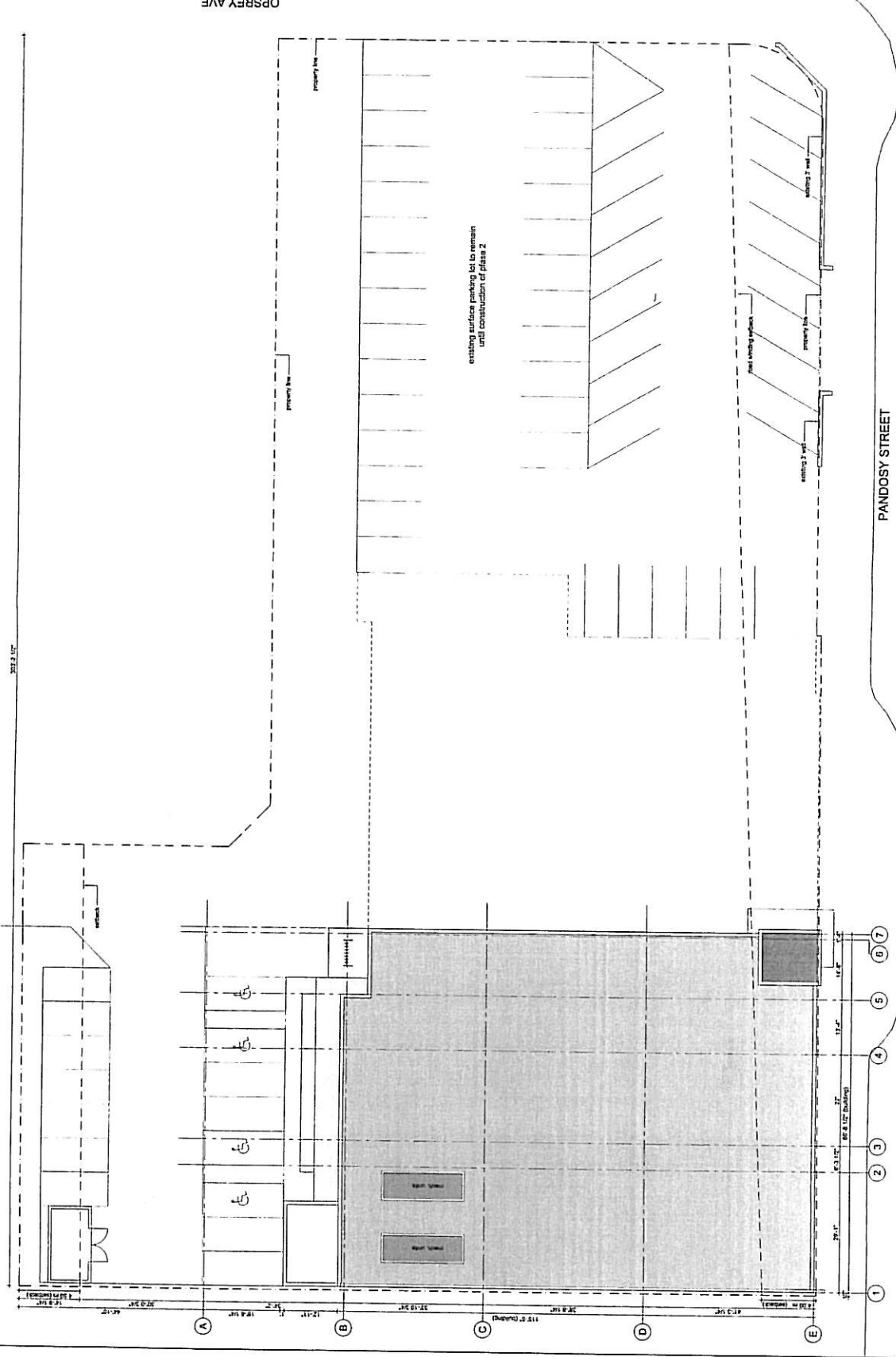
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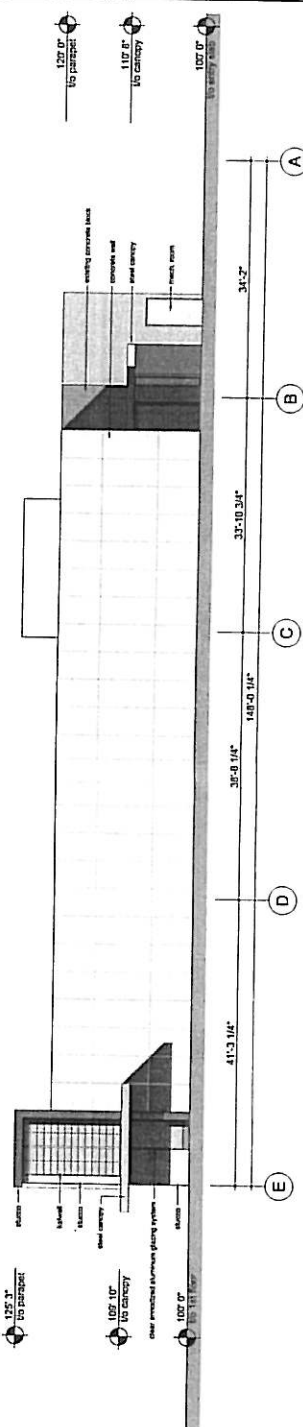
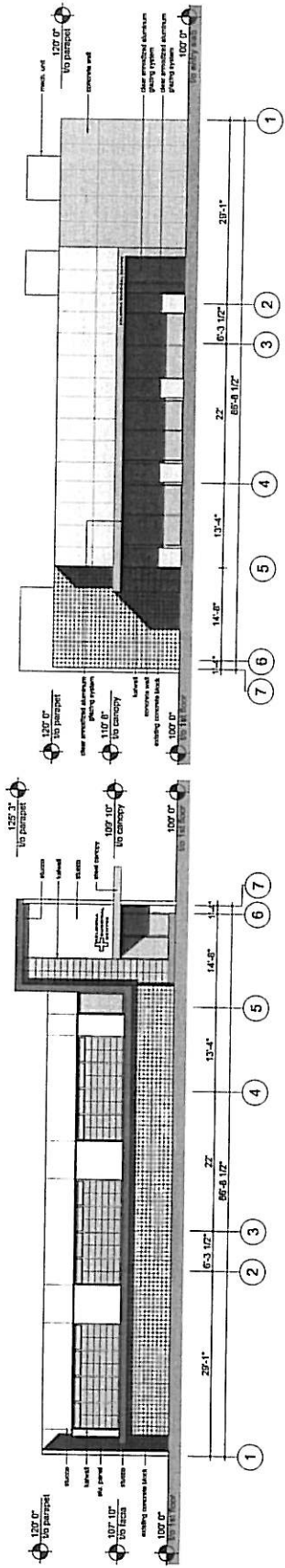
ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS IN PARENTHESES ARE IN METERS.

DRAWING TITLE  
 ROOF PLAN

NO.	DATE	DESCRIPTION
01	10/08/02	Initial Drawing
02	10/08/02	Revised Drawing
03	10/08/02	Revised Drawing
04	10/08/02	Revised Drawing
05	10/08/02	Revised Drawing
06	10/08/02	Revised Drawing
07	10/08/02	Revised Drawing
08	10/08/02	Revised Drawing
09	10/08/02	Revised Drawing
10	10/08/02	Revised Drawing

first floor plan  
 scale 3/32" = 1'-0"





SCHEDULE "B"



